

10.13I-H - INDUSTRIAL HEAVY DISTRICT

10.13.1 I-H PURPOSE

The purpose of this District is to provide opportunities for industrial and manufacturing uses which may have the potential of having a detrimental effect on surrounding land uses.

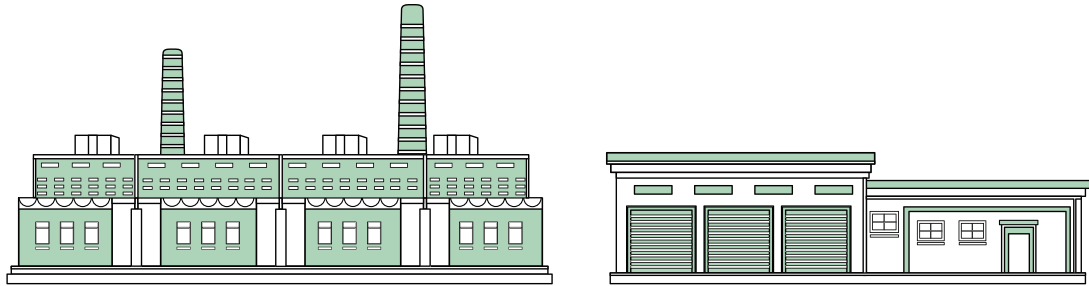


Figure 10.13a: I-H Built Form Examples

10.13.2 I-H PERMITTED AND DISCRETIONARY USES

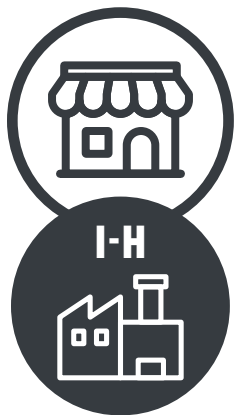
a) Fundamental Use Provisions

The Fundamental Use Provisions are requisite qualifiers for the Permitted and Discretionary Uses listed within 10.13.2 b) and c) and shall ensure:

- i. None.



b) I-H PERMITTED USES	c) I-H DISCRETIONARY USES
<p>Agriplex</p> <p>Auctioneering Establishment</p> <p>Automotive Repair, Service, Rental, and Sales</p> <p>Auto Wrecking Yard</p> <p>Equipment Rental, Sales, and Service</p> <p>Fleet Services</p> <p>Industrial, General</p> <p>Manufacturing Establishment</p> <p>Outdoor Storage</p> <p>Public Utility</p> <p>Renewable Energy Device, Limited</p> <p>Recycling Depot</p> <p>Shipping Container</p> <p>Sign, A-Frame</p> <p>Sign, Fascia</p> <p>Sign, Flag</p> <p>Sign, Freestanding</p> <p>Sign, Inflatable</p> <p>Sign, Marquee or Canopy</p> <p>Sign, Portable</p> <p>Sign, Projecting</p> <p>Sign, Roof</p> <p>Surveillance Suite</p> <p>Vehicle Impoundment Yard</p> <p>Vehicle Wash</p> <p>Veterinary Clinic</p> <p>Warehousing</p> <p>Accessory development to any use listed in subsection 10.13.2 b) or c)</p>	<p>Auctioneering Establishment, Livestock</p> <p>Industrial, Hazardous</p> <p>Kennel</p> <p>Renewable Energy Device</p>



10.13.3 I-H SUBDIVISION STANDARDS

	INTERIOR OR CORNER LOT
a) Lot Width	30.0m (98.4ft) minimum
b) Lot Depth	At the discretion of the Development Authority
c) Lot Area	930.0m ² (10,010.4ft ²) minimum

10.13.4 I-H DEVELOPMENT STANDARDS

	INTERIOR OR CORNER LOT
a) Front Setback	6.0m (19.7ft) minimum 30.0m (98.4ft) minimum if the lot fronts onto a highway 7.5m (24.6ft) minimum if fronting onto a service road right-of-way adjacent to a highway 10.5m (34.4ft) minimum if fronting onto a road other than a service road adjacent to a parallel highway
b) Side Setback	4.5m (14.8ft) minimum
c) Rear Setback	4.5m (14.8ft) minimum
d) Height	Principal Building: Eight (8) storeys, 30.0m (98.4ft) maximum
e) Lot Coverage	80% maximum for all buildings and structures

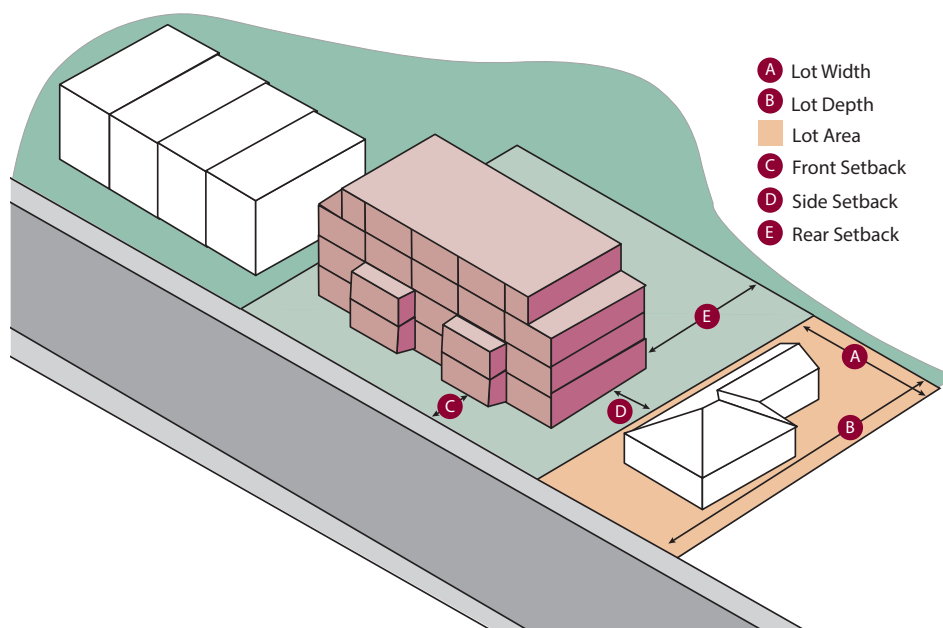


Figure 10.13b: I-H Subdivision and Development Standards



10.13.5 ADDITIONAL DEVELOPMENT REGULATIONS FOR I-H:

- a) The minimum required side and rear setbacks may be increased at the discretion of the Development Authority subject to factors such as location, type of industry, adjacent development, and other safety factors.
- b) Any industrial use including production, processing, cleaning, testing, repair, warehousing, storage, receiving, trans-shipment, or distribution of any material shall conform to the following performance standards:
 - i. Smoke, Dust, Ash, Odour, Toxic Gases, and Substances – shall only be released in such amounts and under such conditions and safeguards as approved by the Province;
 - ii. Glare, Heat, Noise, or Vibration – no industrial use shall be carried out which would produce any glare, heat, noise, or vibration so as to be offensive beyond the boundary of the I-H district in which the lot is located;
 - iii. Industrial Waste – no waste shall be discharged into any sewer or drainage system which does not conform to the standards established by Alberta Environment, a bylaw of the Town, or both; and
 - iv. The applicant shall provide verification to the satisfaction of the Development Authority that a proposed development does and will comply with the above standards.
- c) The Development Authority shall establish use on the basis of appropriate performance standards, the methods, equipment and techniques of the use, the use of neighbouring land and districts, and the compatibility of the proposed use with neighbouring land and districts when considering an application for development.
- d) All development and uses within this Land Use District are subject to the applicable provisions of **Part 6 – General Regulations for all Land Use Districts**, **Part 7 – Parking and Loading Standards**, **Part 8 – Sign Regulations**, and Sections 10.1 to 10.7 of **Part 10 – Non-Residential Land Use Districts**.