

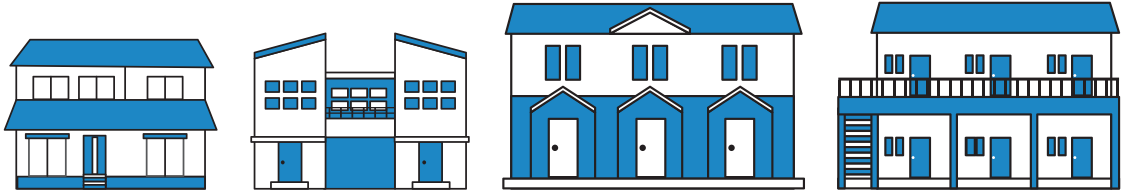


9.10 R2 - MEDIUM DENSITY RESIDENTIAL DISTRICT

9.10.1 R2 PURPOSE

The purpose of this District is to allow for a variety of medium-density residential land uses.

Figure 9.10a: Example R2 Building Forms



9.10.2 R2 PERMITTED AND DISCRETIONARY USES

a) Fundamental Use Provisions

The Fundamental Use Provisions are requisite qualifiers for the Permitted and Discretionary Uses listed within 9.10.2 b) and c) and shall ensure:

- i. Secondary Suite, Garage Suite, and Garden Suite uses shall only be accessory to a Dwelling, Single-Detached; and
- ii. Only one Secondary Suite; Garage Suite, or Garden Suite is permitted per lot.

b) R2 PERMITTED USES	c) R2 DISCRETIONARY USES
Day Home Dwelling, Multi-Attached Dwelling, Semi-Detached Dwelling, Single-Detached Home Office Public Utility Renewable Energy Device, Limited Accessory development to any use listed in subsection 9.10.2 b) or c)	Assisted Living Facility, Limited Child Care Facility Garage Suite Garden Suite Home Business Secondary Suite Show Home Temporary Sales Centre



9.10.3 R2 LOT SUBDIVISION STANDARDS

	INTERIOR LOT	CORNER LOT
a) Lot Width	10.0m (32.8 ft) minimum	12.0m (39.3 ft) minimum
b) Lot Depth	30.0m (98.4ft) minimum	
c) Lot Area	300.0m ² (3,229.2ft ²) minimum	

9.10.4 R2 DEVELOPMENT STANDARDS

	INTERIOR LOT	CORNER LOT	
a) Front Setback	6.0m (19.7ft) minimum	Front	6.0m (19.7ft) minimum
		Flanking	3.0m (9.8ft) minimum
b) Side Setback	1.5m (4.9ft) minimum		
c) Rear Setback	7.5m (24.6ft) minimum		
d) Height	Principal Building: Three (3) storeys, 12.0m (39.4ft) maximum		
e) Lot Coverage	40% maximum for principal building		
	50% maximum for all buildings and structures		
f) Density	70 units/net hectare, maximum		

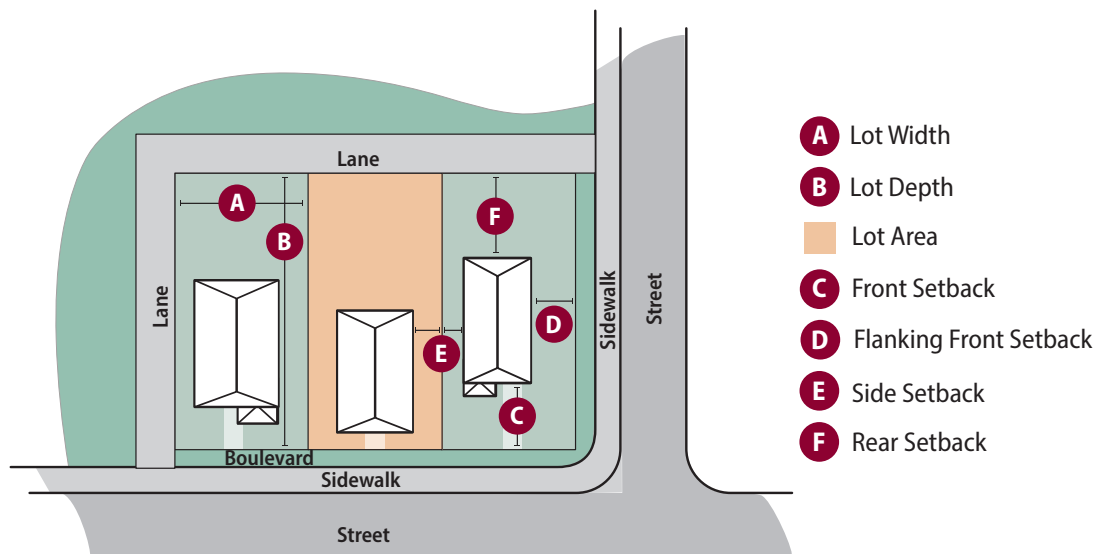


Figure 9.10b: R2 Subdivision and Development Standards



9.10.5 ADDITIONAL DEVELOPMENT REGULATIONS FOR R2:

- a) Development of semi-detached dwellings where no lanes are provided must include provision for the future development of a garage, either attached or detached, and access to it.
- b) Parking for multi-attached dwellings shall be either covered or provided as a surface parking lot.
- c) Where a lane exists, all dwellings shall be designed such that vehicular access is from the rear of the property.
- d) Front and rear yards shall be considered as amenity areas for multi-attached dwelling developments.
- e) All development and uses within this Land Use District are subject to the applicable provisions of **Part 6 – General Regulations for all Land Use Districts**, **Part 7 – Parking and Loading Standards**, **Part 8 – Sign Regulations**, and Sections 9.1 to 9.7 of **Part 9 – Residential Land Use Districts**.