



10.11 C-H - HIGHWAY COMMERCIAL DISTRICT

10.11.1 C-H PURPOSE

The purpose of this District is to provide for vehicle-orientated commercial uses appropriate for along highway corridors which may not be suitable in the Downtown or in other commercial areas within the Town.

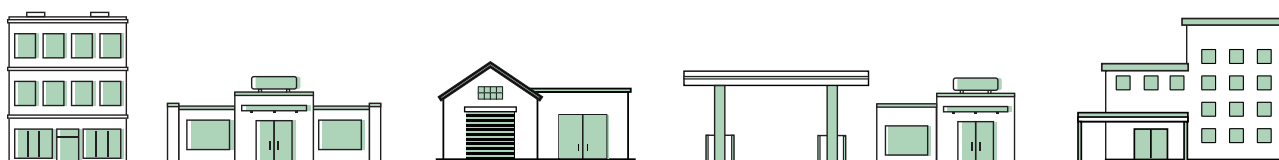


Figure 10.11a: C-H Built Form Examples

10.11.2 C-H PERMITTED AND DISCRETIONARY USES

a) Fundamental Use Provisions

The Fundamental Use Provisions are requisite qualifiers for the Permitted and Discretionary Uses listed within 10.11.2 b) and c) and shall ensure:

i. None.

b) C-H PERMITTED USES

Agricultural Equipment Sales and Service
 Auctioneering Establishment
 Automotive Repair, Service, Rental and Sales
 Breweries, Distilleries, and Wineries
 Business Support Service
 Child Care Facility
 Commercial School
 Eating and Drinking Establishment
 Entertainment Establishment, Indoor
 Entertainment Establishment, Outdoor
 Equipment Rental, Sales, and Service
 Financial Service
 Funeral Home
 Health Service
 Hotel

c) C-H DISCRETIONARY USES

Cultural and Community Facility
 Fleet Services
 Manufacturing Establishment
 Outdoor Storage
 Recycling Depot
 Sign, Billboard
 Warehousing



b) C-H PERMITTED USES

c) C-H DISCRETIONARY USES

Parking Facility
 Personal Service
 Pet Care Service
 Place of Worship
 Professional, Office, Government, and
 Business Service
 Public Utility
 Renewable Energy Device, Limited
 Retail, Cannabis
 Retail, General
 Retail, Liquor
 Service Station
 Shipping Container
 Shopping Centre
 Sign, A-Frame
 Sign, Fascia
 Sign, Flag
 Sign, Freestanding
 Sign, Inflatable
 Sign, Marquee or Canopy
 Sign, Portable
 Sign, Projecting
 Sign, Roof
 Vehicle Wash
 Veterinary Clinic
 Accessory development to any use listed in
 subsection 10.11.2 b) or c)



10.11.3 C-H SUBDIVISION STANDARDS

	INTERIOR OR CORNER LOT
a) Lot Width	At the discretion of the Development Authority
b) Lot Depth	At the discretion of the Development Authority
c) Lot Area	450.0m ² (4,843.8ft ²) minimum

10.11.4 C-H DEVELOPMENT STANDARDS

	INTERIOR OR CORNER LOT
a) Front Setback	9.0m (29.5ft) minimum
b) Side Setback	3.0m (9.8ft) minimum
c) Rear Setback	3.0m (9.8ft) minimum
d) Height	Principal Building: Four (4) storeys, 16.0m (52.5ft) maximum
e) Lot Coverage	40% maximum for principal building 50% maximum for all buildings and structures

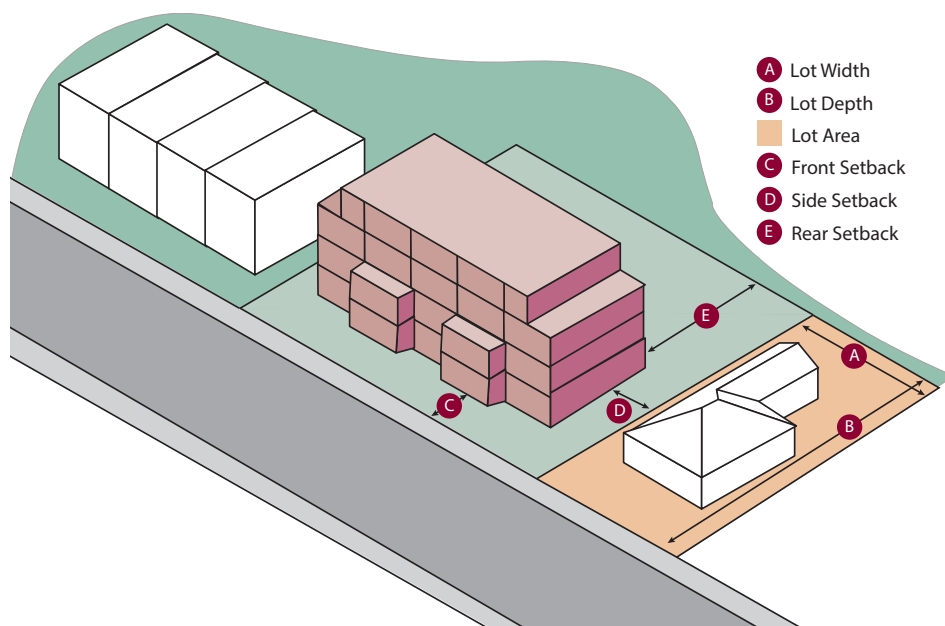
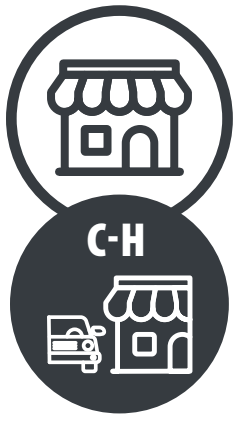


Figure 10.11b: C-H Subdivision and Development Standards



10.11.5 ADDITIONAL DEVELOPMENT REGULATIONS FOR C-H:

- a) A minimum of one on-site loading space for each loading door, with a minimum of two (2) loading spaces shall be provided.
- b) Fencing shall not be permitted within the front yard area.
- c) The Development Authority may require increased setbacks to allow for the planned widening of roads or for the provision of service roads where required by Alberta Transportation.
- d) If property is adjacent to Highway 18 or Highway 44, the minimum required setback from the adjacent property line shall be determined by the Development Authority at their sole discretion.
- e) Access from a site to a public roadway shall be allowed only at points established by the Development Authority.
- f) Vehicles and other equipment being displayed, serviced, or stored shall not be parked on roads, lanes, sidewalks, or boulevards. No part of such vehicles or equipment shall extend into the right-of-way of roads, lanes, sidewalks, or boulevards.
- g) All yards adjacent to public roadways shall be landscaped and the site and all buildings shall be maintained in a neat and tidy manner.
- h) All storage areas and parking lots shall be screened from any adjacent residential district by a solid wall, fence or other screening acceptable to the Development Authority not less than 2.0m (6.6ft) high.
- i) All development and uses within this Land Use District are subject to the applicable provisions of **Part 6 – General Regulations for all Land Use Districts**, **Part 7 – Parking and Loading Standards**, **Part 8 – Sign Regulations**, and Sections 10.1 to 10.7 of **Part 10 – Non-Residential Land Use Districts**.