

10.8 DT-MU - DOWNTOWN MIXED-USE DISTRICT

10.8.1 DT-MU PURPOSE

The purpose of this District is to provide for a wide variety of mixed-use development within the Downtown to serve the surrounding community and promote walkability.

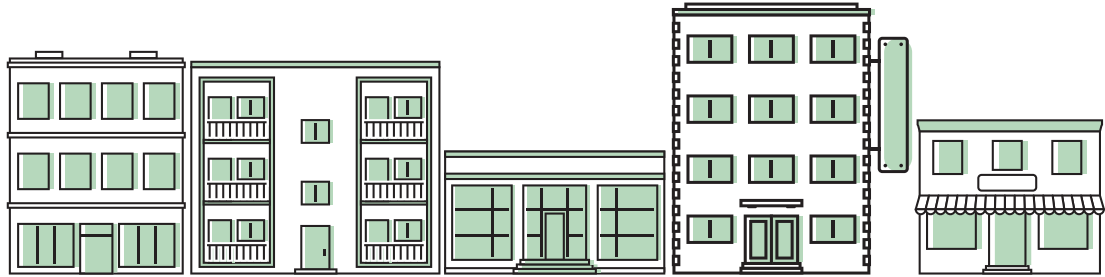


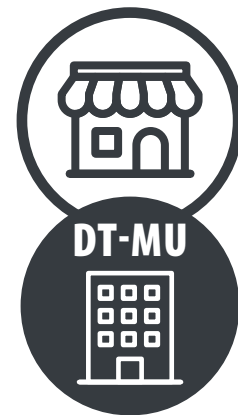
Figure 10.8a: DT-MU Built Form Examples

10.8.2 DT-MU PERMITTED AND DISCRETIONARY USES

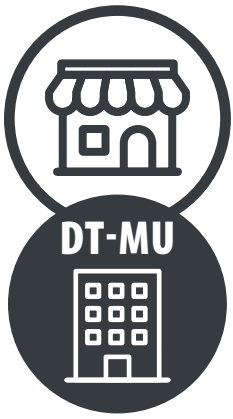
a) Fundamental Use Provisions

The Fundamental Use Provisions are requisite qualifiers for the Permitted and Discretionary Uses listed within 10.8.2 b) and c) and shall ensure:

- i. That any Use which includes a drive-in business shall be considered neither a Permitted nor a Discretionary Use;
- ii. Breweries, Wineries, and Distilleries shall have a maximum floor area of 1,114.8 m² (12,000.0ft²);
- iii. Dwelling, Apartment shall only occur above ground floor commercial uses; and
- iv. Retail, General uses shall not include buildings or yards used for the sale or storage of motor vehicles or agricultural or heavy industrial machinery and equipment.



b) DT-MU PERMITTED USES	c) DT-MU DISCRETIONARY USES
<p>Dwelling, Apartment</p> <p>Breweries, Wineries, and Distilleries</p> <p>Business Support Service</p> <p>Child Care Facility</p> <p>Commercial School</p> <p>Cultural and Community Facility</p> <p>Eating and Drinking Establishment</p> <p>Entertainment Establishment, Indoor</p> <p>Financial Service</p> <p>Funeral Home</p> <p>Health Service</p> <p>Hotel</p> <p>Parking Facility</p> <p>Personal Service</p> <p>Place of Worship</p> <p>Private Club</p> <p>Professional, Office, Government, and Business Service</p> <p>Public Utility</p> <p>Renewable Energy Device, Limited</p> <p>Retail, Cannabis</p> <p>Retail, General</p> <p>Retail, Liquor</p> <p>Sign, A-Frame</p> <p>Sign, Fascia</p> <p>Sign, Freestanding</p> <p>Sign, Inflatable</p> <p>Sign, Marquee or Canopy</p> <p>Sign, Portable</p> <p>Sign, Projecting</p> <p>Sign, Roof</p> <p>Workshop, Limited</p> <p>Accessory development to any use listed in subsection 10.8.2 b) or c)</p>	<p>Assisted Living Facility</p> <p>Automotive Repair, Service, Rental, and Sales</p> <p>Bed and Breakfast</p> <p>Pet Care Service</p> <p>Protection and Emergency Services</p> <p>School</p> <p>Shopping Centre</p>



10.8.3 DT-MU SUBDIVISION STANDARDS

	INTERIOR OR CORNER LOT
a) Lot Width	10.0m (32.8ft) minimum
b) Lot Depth	35.0m (114.8ft) minimum
c) Lot Area	350.0m ² (3,767.37ft ²) minimum

10.8.4 DT-MU DEVELOPMENT STANDARDS

	INTERIOR OR CORNER LOT
a) Front Setback	0.0m minimum
b) Side Setback	0.0m minimum
c) Rear Setback	3.0m (9.8ft) minimum
d) Height	Principal Building: Four (4) storeys, 16.0m (52.5ft) maximum
e) Lot Coverage	100% maximum for all buildings and structures

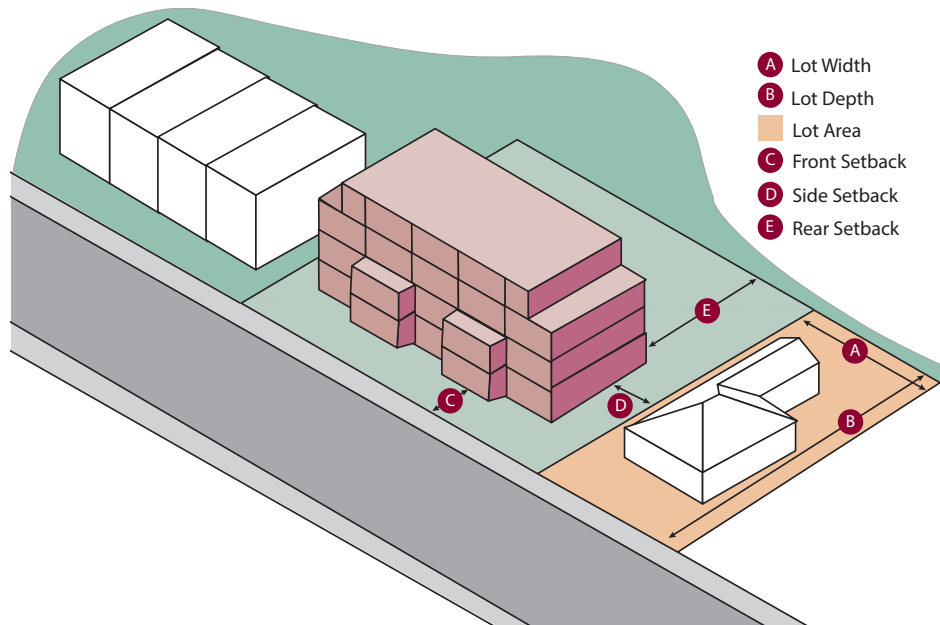
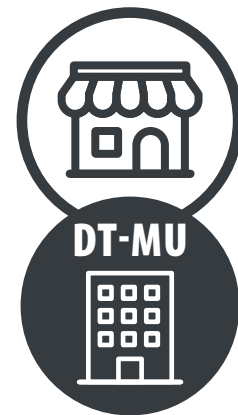


Figure 10.8b: DT-MU Subdivision and Development Standards



10.8.5 ADDITIONAL DEVELOPMENT REGULATIONS FOR DT-MU

- a) Fencing shall not be permitted within the front yard area.
- b) If a building is setback from the front property line, the front yard shall include a landscaping treatment consistent with the public sidewalk treatment.
- c) Building facades shall provide visual interest through vertical articulation by a variety of measures such as change in colours or materials and use of projections and recesses (Figure 10.8c).

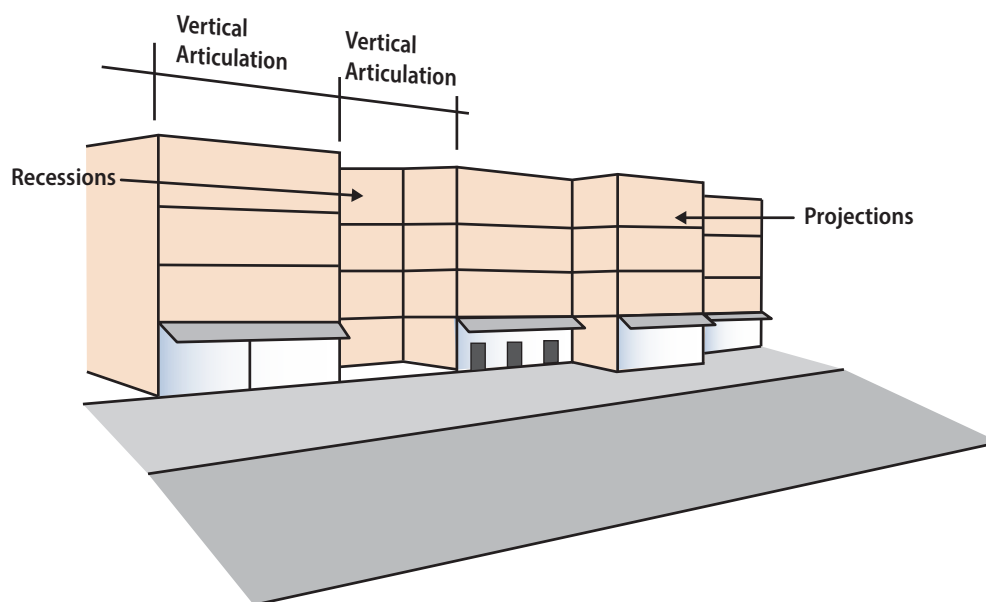


Figure 10.8c: Vertical Articulation

- d) Blank facades shall be minimized.
- e) Multiple entrances shall be provided at the ground floor.
- f) A minimum of 50% of the ground floor façade shall provide transparency to improve pedestrian interaction (Figure 10.8d).

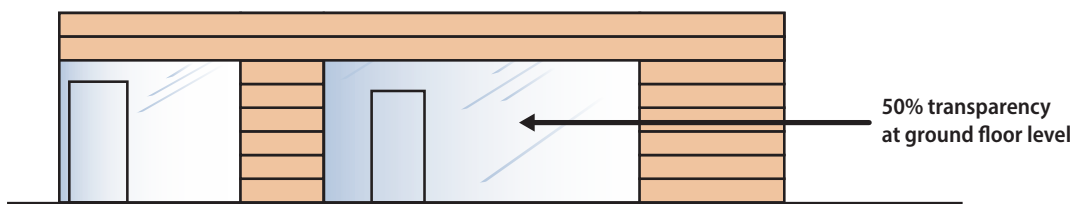
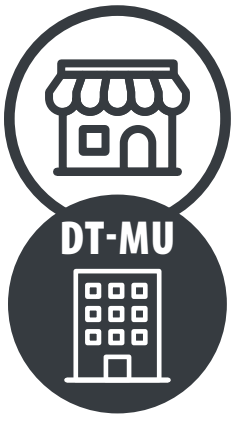


Figure 10.8d: Ground Floor Transparency



- g) A separate distinguishable entrance shall be provide for residential uses above ground floor commercial uses.
- h) Buildings shall provide special architectural treatment such as change in roof line, height accentuation, special canopies, or other similar mechanisms at corner locations.
- i) The design, siting, external finish, height, architectural appearance, and landscaping in general of all land and buildings, including any accessory buildings and structures, shall be to the satisfaction of the Development Authority.
- j) The Development Authority may require a uniform roof line, a uniform canopy or projection line, and a uniform height from sidewalk to display windows in the case of two or more adjacent buildings.
- k) The Development Authority shall ensure that signs are visually compatible with each other and that no individual signs detract from the appearance of the area or road.
- l) Projecting signs meeting the requirements of **Part 8** may be approved by the Development Authority provided that:
 - i. For any building located less than 6.0m (19.ft) from a property line, not more than one (1) projecting sign of 2.4m² (25.8ft²) in area is erected;
 - ii. The sign does not extend more than 1.0m (3.3ft) above the parapet of the building;
 - iii. The sign does not extend more than 1.5m (4.9ft) from the face of the building; and
 - iv. The sign has a minimum clearance of 3.0m (9.8ft) from grade.
- m) Accessory buildings may only be permitted in the rear yard, if any.
- n) All development and uses within this Land Use District are subject to the applicable provisions of **Part 6 – General Regulations for all Land Use Districts**, **Part 7 – Parking and Loading Standards**, **Part 8 – Sign Regulations**, and Sections 10.1 to 10.7 of **Part 10 – Non-Residential Land Use Districts**.