



9.16 R-NC - RESIDENTIAL NEIGHBOURHOOD COMMERCIAL DISTRICT

9.16.1 R-NC PURPOSE

The purpose of this District is to provide for a variety of housing options while allowing for neighbourhood-scale commercial, business or community activities that function as a central neighbourhood hub.

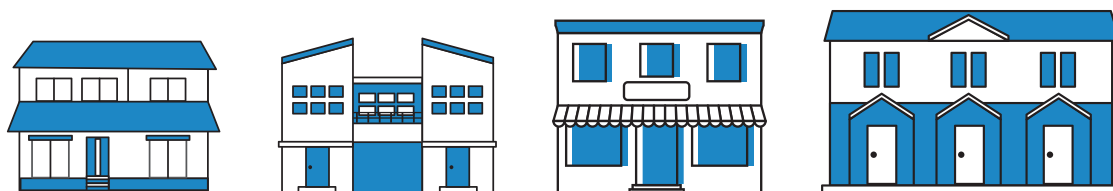


Figure 9.16a: Example R-NC Building Forms

9.16.2 R-NC PERMITTED AND DISCRETIONARY USES

a) Fundamental Use Provisions

The Fundamental Use Provisions are requisite qualifiers for the Permitted and Discretionary Uses listed within 9.16.2 b) and c) and shall ensure:

- i. That any Use which includes a drive-in business shall be considered neither a Permitted nor a Discretionary Use; and; and
- ii. Indoor Playground shall have a maximum floor area of 185.8m² (2000.00 ft²) dedicated to patron space.

b) R-NC PERMITTED USES	c) R-NC DISCRETIONARY USES
Child Care Facility	Bed and Breakfast
Dwelling, Multi-Attached	Cultural and Community Facility
Dwelling, Semi-Detached	Health Service
Dwelling, Single-Detached	Home Business
Home Office	Retail, General
Indoor Playground	Show Home
Personal Service	Sign, Inflatable
Professional, Office, Government, and Business Service	Sign, Portable
Public Utility	Sign, Roof
Renewable Energy Device, Limited	Temporary Sales Centre
Sign, A-Frame	Workshop, Limited



b) R-NC PERMITTED USES	c) R-NC DISCRETIONARY USES
Sign, Fascia	
Sign, Freestanding	
Sign, Marquee/Canopy	
Sign, Projecting	
Accessory development to any use listed in subsection 9.16.2 b) or c)	

9.16.3 RMH-2 SUBDIVISION STANDARDS

	INTERIOR OR CORNER LOT
a) Lot Width	At the discretion of the Development Authority
b) Lot Depth	At the discretion of the Development Authority
c) Lot Area	450.0m ² (4,843.8ft ²) minimum

9.16.4 RMH-2 DEVELOPMENT STANDARDS

	INTERIOR LOT	CORNER LOT	
a) Front Setback	6.0m (19.7ft) minimum	Front	6.0m (19.7ft) minimum
		Flanking	3.0m (9.8ft) minimum
b) Side Setback	Principal Building: 1.5m (4.9ft) minimum		
	Accessory Building: 1.0m (3.3ft) minimum		
c) Rear Setback	Principal Building: 3.0m (9.8ft) minimum		
	Accessory Building: 1.0m (3.3ft) minimum		
d) Height	Three (3) storeys, 11.0m (36.0ft) maximum		
	A maximum differential of 1 storey shall be allowed between adjacent sites.		
e) Lot Coverage	40% maximum for principal building		
	50% maximum for all buildings and structures		

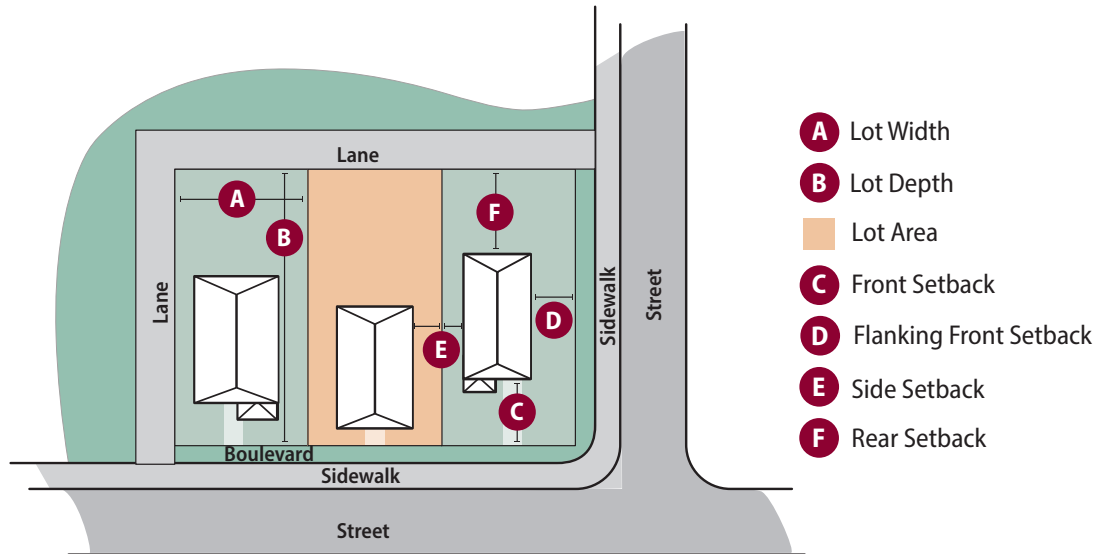


Figure 9.16b: R-NC Subdivision and Development Standards

9.16.5 ADDITIONAL DEVELOPMENT REGULATIONS FOR R-NC:

- a) Fencing shall not be permitted within the front yard area.
- b) No outdoor storage shall be permitted.
- c) Dwellings two (2) storeys or taller must be designed so that windows, doors, balconies, and landscaping are placed to reduce direct views of adjacent properties.
- d) Buildings shall be scaled and orientated to enhance pedestrian access and the visibility of entrances.
- e) Front porches, stoops and architectural features such as awnings are encouraged to highlight the front façade and entry to each building.
- f) Front attached garages and driveways should be minimized. Where present, the width of the driveway and curb cut shall be minimized.
- g) When located adjacent to a low-density residential district, the development shall be screened from adjacent properties through a solid fence with a minimum height of 1.83m (6.0ft).
- h) Connectivity shall be provided between and throughout each site to adjacent pedestrian sidewalks and trails.
- i) Parking areas for non-residential uses shall not be located in any front yard.
- j) All development and uses within this Land Use District are subject to the applicable provisions of **Part 6 – General Regulations for all Land Use Districts**, **Part 7 – Parking and Loading Standards**, **Part 8 – Sign Regulations**, and Sections 9.1 to 9.7 of **Part 9 – Residential Land Use Districts**.