

10.15 PR - PARKS AND RECREATION DISTRICT

10.15.1 PR PURPOSE

The purpose of this District is to provide for recreational, educational, and conservation uses.

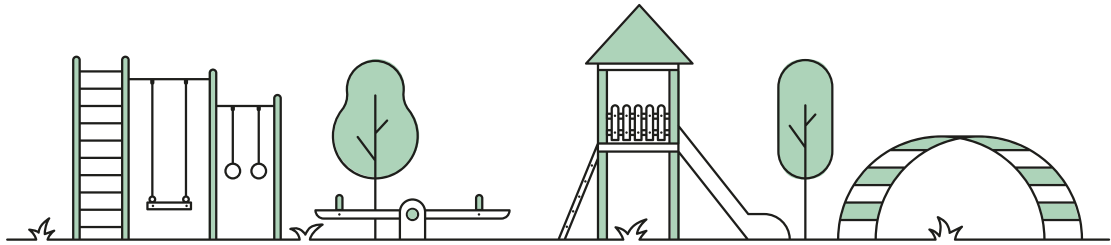


Figure 10.15a: PR Built Form Example

10.15.2 PR PERMITTED AND DISCRETIONARY USES

a) Fundamental Use Provisions

The Fundamental Use Provisions are requisite qualifiers for the Permitted and Discretionary Uses listed within 10.15.2 b) and c) and shall ensure:

i. None.

b) PR PERMITTED USES

Child Care Facility
Community Garden
Cultural and Community Facility
Parking Facility
Public Park
Public Utility
Recreation Facility, Indoor
Recreation Facility, Outdoor
Renewable Energy Device, Limited
Sign, A-Frame
Sign, Fascia
Sign, Freestanding
Sign, Marquee or Canopy
Sign, Portable
Sign, Projecting
Accessory development to any use listed in subsection 10.15.2 b) or c)

c) PR DISCRETIONARY USES

Campground
Cemetery
Entertainment Establishment, Outdoor
Sign, Inflatable
Sign, Roof



10.15.3 PR SUBDIVISION STANDARDS

	INTERIOR OR CORNER LOT
a) Lot Width	At the discretion of the Development Authority
b) Lot Depth	At the discretion of the Development Authority
c) Lot Area	465.0m ² (5,005.2ft ²) minimum

10.15.4 PR DEVELOPMENT STANDARDS

	INTERIOR OR CORNER LOT
a) Front Setback	6.0m (19.7ft) minimum
b) Side Setback	4.5m (14.8ft) minimum
c) Rear Setback	7.5m (24.6ft) minimum
d) Height	Principal Building: Four (4) storeys, 16.0m (52.5ft) maximum
e) Lot Coverage	45% maximum for all buildings and structures

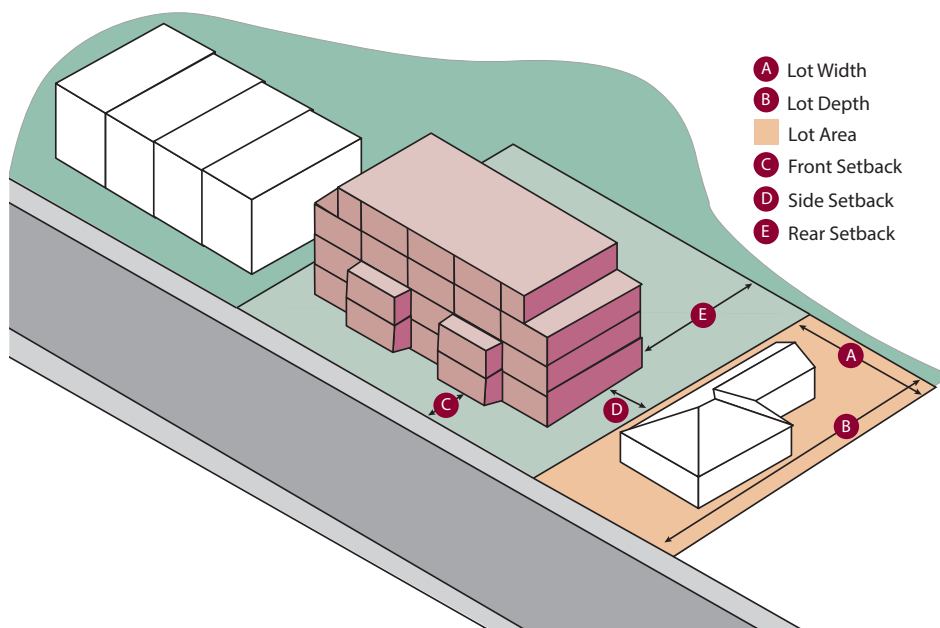
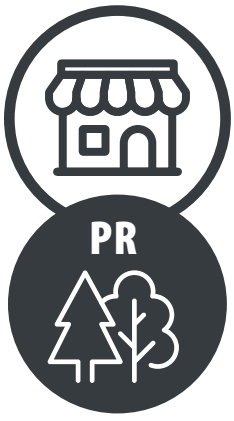


Figure 10.15b: PR Subdivision and Development Standards



10.15.5 ADDITIONAL DEVELOPMENT REGULATIONS FOR PR:

- a) Fencing shall not be permitted within the front yard area.
- b) All development and uses within this Land Use District are subject to the applicable provisions of **Part 6 – General Regulations for all Land Use Districts**, **Part 7 – Parking and Loading Standards**, **Part 8 – Sign Regulations**, and Sections 10.1 to 10.7 of **Part 10 – Non-Residential Land Use Districts**.