

IMPORTANT INFORMATION

- Sheds and garages cannot be built on a utility right-of-way.
- Sheds and garages must be finished in materials that complement your home.
- The eaves of your shed or garage can project a maximum of 0.6m (2.0ft) into a required setback.
- If your shed or garage will have power and/or heat, an electrical and/or gas permit will also be required.
- Sheds or garages over 55.0m² (592.0ft²) will require an engineer-designed foundation.
- Soffits or drainage systems on your new shed or garage cannot direct water onto or towards an adjacent property or a Lane.

REMINDER

For your safety, we strongly encourage that you have your utilities located for free by contacting **Utility Safety Partners (Alberta One-Call)** at **1-800-242-3447** or **utilityafety.ca** before digging.



QUESTIONS?

More information is available on our website at www.westlock.ca/home-improvement or by scanning the QR code below.



Planning & Development staff can also assist you with any questions you may have:



CALL

780-349-4444



EMAIL

planning@westlock.ca



IN-PERSON

10003-106 Street,
Westlock, AB

**Appointment recommended*



Note: This brochure is a general guide only. Additional information may be required.



BUILDING A SHED OR GARAGE



FREQUENTLY ASKED QUESTIONS

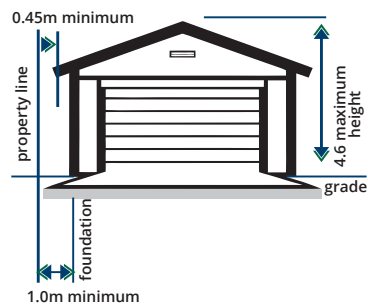
HOW LARGE OF A SHED OR GARAGE CAN I BUILD?

The size of shed or garage you can build depends on the size of your lot as well as the footprint of any existing buildings. Most residential lots have a maximum lot coverage of 40%. You can determine your lot coverage by adding the footprint of all buildings, including any decks over 0.6m (2.0ft) tall, and dividing that by your total lot area.

As each lot is unique, our Planning & Development staff can help you determine the lot coverage for your property as well as the maximum size of shed or garage you can build.

Garages over 55 m² (592 sq. ft.) in area require a foundation design reviewed and stamped by an Alberta registered engineering professional.

Garage Front Elevation



HOW TALL CAN MY SHED OR GARAGE BE?

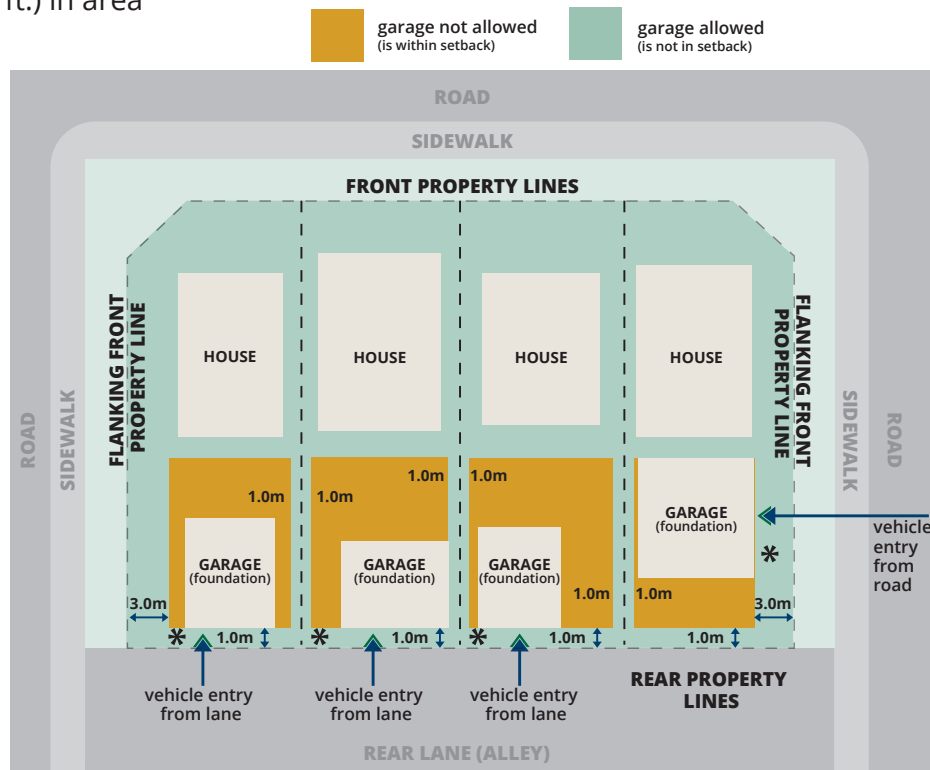
On residential properties, a shed or garage can be as tall as 4.6m (15.1ft). This is measured from grade to roof peak.

WHERE CAN I BUILD A SHED OR GARAGE?

Sheds and garages can be built in your side or rear yards but cannot be built in your front yard.

Sheds and garages must also be a minimum of 1.5m (4.9ft) from any other building on your property, including your home.

The diagrams below illustrates the setback requirements for sheds and garages.



PERMITS: WHEN AND WHY THEY MATTER

Permits help ensure your project is safe, meets building standards, and complements the look and purpose of your neighbourhood.

If you're building a shed or garage 10.0 m² (107.6 ft²) or larger, you'll need a Development and Building Permit. Smaller sheds under this size do not require permits, but must still meet the minimum setbacks.

HOW DO I APPLY?

To apply for permits for your garage, submit a complete application with all required submittals or apply through our e-portal www.westlock.ca/epermitting-portal.

Application forms are available on the Town's website or at the Town Office.

Additional information may be requested upon review, depending on the nature of your application.

- ☐ Completed Development and Building Permit application forms
- ☐ Complete Accessory Building Details form
- ☐ Application fee
- ☐ Site plan (can be hand-drawn if legible) showing:

- The proposed location and dimensions of the shed or garage and any proposed driveway
- The distance of the shed or garage to your property lines and any existing buildings